

BENCHMARK
 ELEV. 123.37 (2001 ADJ.)
 MANHOLE IN SANDUST ROAD ELEVATION OF MANHOLE FROM
 BENCHMARK TO TOP OF MANHOLE IS 1.00 FEET
 CASIMIR COMMERCIAL BUILDING, DATED 01-16-08 BY BENCHMARK
 ENGINEERING CORPORATION.

SITE BENCHMARK
 ELEV. 121.27'
 SET 800-NAIL 2200' ± NORTH OF A FOUND 5/8 INCH IRON ROD.

SANDUST ROAD
 (100' ROW)

CALLLED TRACT 5, 0.5301 ACRES
 OUT OF AND PART OF
 LANDING, SECTION 1, BLOCK 1
 RESTRICTED RESERVE
 RECORDED UNDER CAB. H. SHEET 95B &
 A CALLED 6.7847 ACRES
 VC CHERUBINI AND WENDIE CHERUBINI
 CIP 99067065 OFR MCT

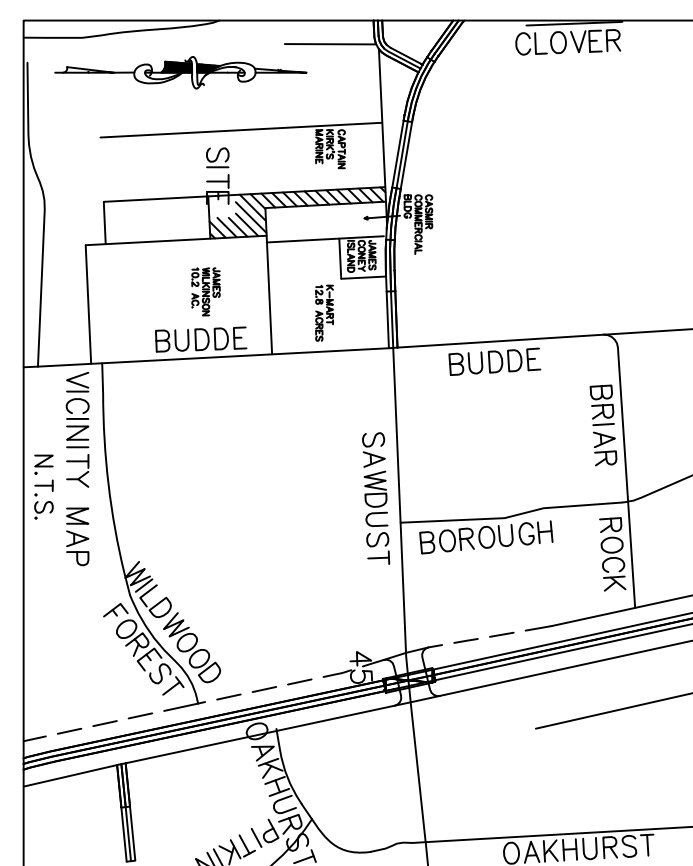
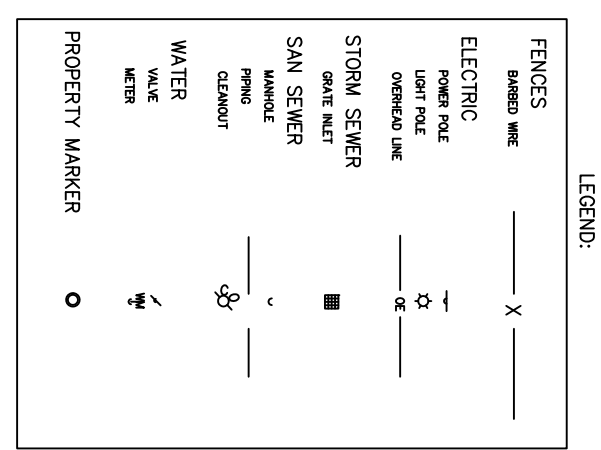
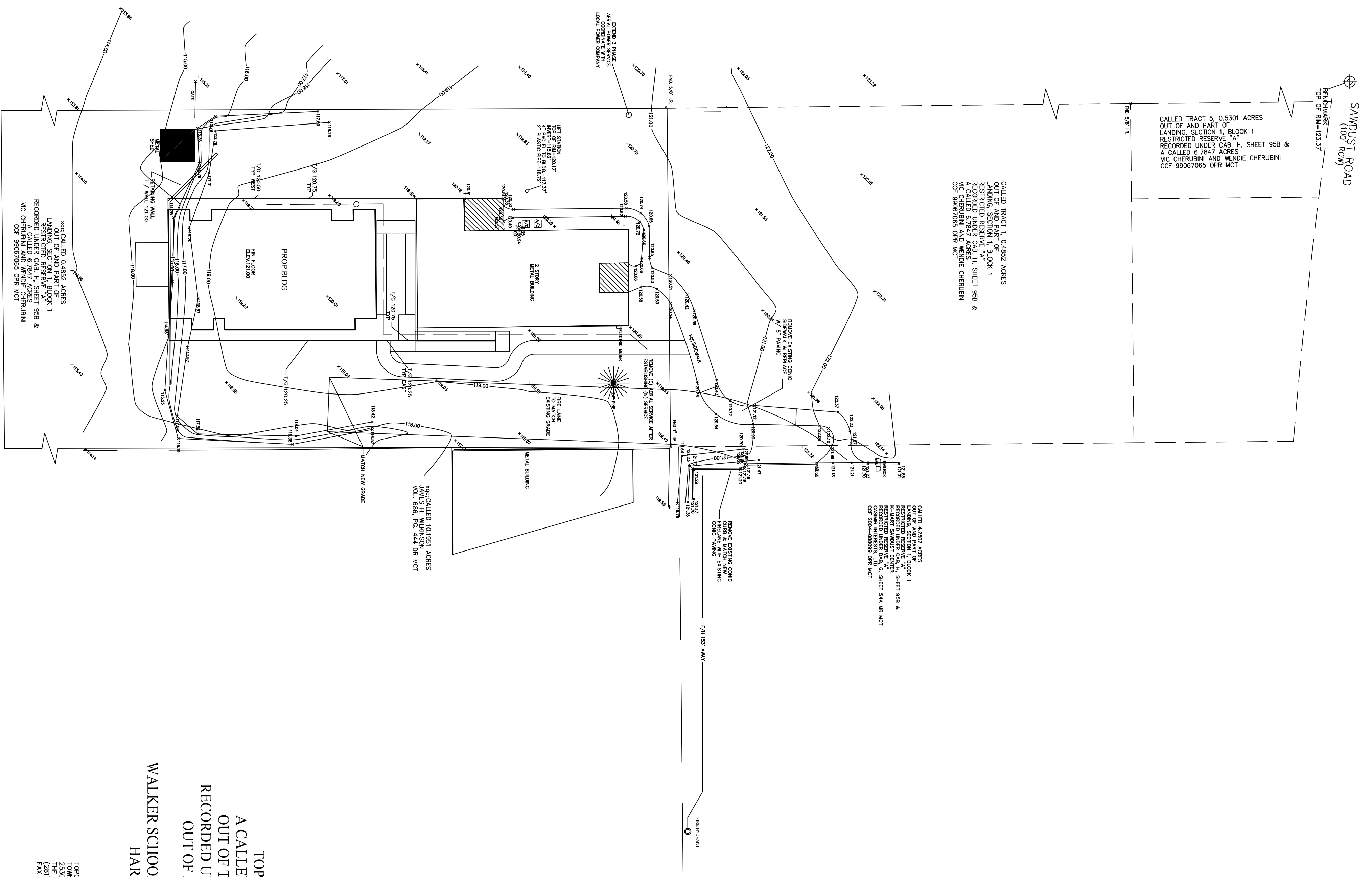
CALLLED TRACT 1, 0.4822 ACRES
 OUT OF AND PART OF
 LANDING, SECTION 1, BLOCK 1
 RESTRICTED RESERVE
 RECORDED UNDER CAB. H. SHEET 99B &
 A CALLED 6.7847 ACRES
 VC CHERUBINI AND WENDIE CHERUBINI
 CIP 99067065 OFR MCT

CALLLED TRACT 2, 0.4822 ACRES
 OUT OF AND PART OF
 LANDING, SECTION 1, BLOCK 1
 RESTRICTED RESERVE
 RECORDED UNDER CAB. H. SHEET 99B &
 A CALLED 6.7847 ACRES
 VC CHERUBINI AND WENDIE CHERUBINI
 CIP 99067065 OFR MCT

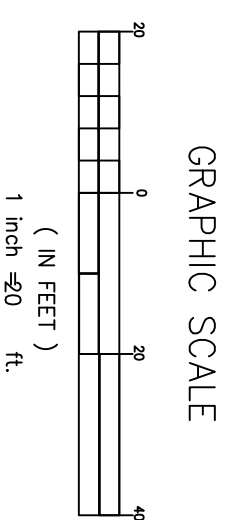
CALLLED 24.6693 ACRES
 THE GREEN COMPANY
 CIP 879284 OFR MCT

CALLLED 10.1951 ACRES
 VOL. 688, REC. 444 OF MCT

CALLLED 0.4822 ACRES
 LANDING, SECTION 1, BLOCK 1
 RECORDED UNDER CAB. H. SHEET 99B &
 VC CHERUBINI AND WENDIE CHERUBINI
 CIP 99067065 OFR MCT



1/5 TOP OF GRADING
 1/4 TOP OF FINISH
 X PROPOSED SPOT ELEVATION
 122 PROPOSED CONTOUR



SITE GRADING PLAN

GENERAL NOTES:
 1. This survey was prepared without the benefit of a title commitment or other research. All items of record are not shown herein. Any Flood Insurance Rate Map for Harris County, Texas Map Number 483302889C, effective date of December 19, 1996, and the map indicates this tract to be in "Zone X", determined by 100 year flood or other Flood Areas and the Special Provisions specify that structures damaged by flood damage, from the emergency on/after the structures' construction or flood damage. This determination has been made by scaling the property on the drawing. It is the responsibility of the client to verify this information with the Flood Insurance Rate Map. This flood statement shall not create liability on the part of the surveyor.

To: Mr. David Stratus
 David Stratus, certify that this survey was prepared under my supervision and meets Texas Professional Land Surveyors requirements for a Category 6, Condition 1 survey.
 David J. Stratus
 R.P.L.S. #4281
 Survey # 21, 2010

TOPOGRAPHIC SURVEY
 A CALLED TRACT 2, 1.4311 ACRES
 OUT OF THE LANDING, SECTION 1
 RECORDED UNDER CAB. H. SHEET 95 AND
 OUT OF A CALLED 6.7847 ACRES
 IN THE
 WALKER SCHOOL LAND SURVEY, A-599
 HARRIS COUNTY, TEXAS

TOPOGRAPHIC INFORMATION PROVIDED BY:
 THE MODULARS, TX 77380
 25207 NORTH FREEMAN, SUITE 100
 HARRIS COUNTY, TEXAS 77060
 FAX (281)465-8731

ENGINEERING BY: DAVID J. STRATUS
 R.P.L.S. #4281
 524 North Main Street #1
 Houston, Texas 77001
 Phone: (281)465-8731
 Fax: (281)465-8731



1. RONALD A. SAKOWSKI, P.E., AUTHORIZED THE PLACEMENT OF THIS DRAWING FOR THE PURPOSE OF ISSUING FOR BELOW.

DATE OF CONSTRUCTION	
DATE OF GRADING	
DATE OF FINISH	
DATE OF SURVEY	
DATE OF RECORDING	
DATE OF APPROVAL	
DATE OF ISSUANCE	

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